

BASE OF BUILDING DEFINITION



Principle:

Buildings are constructed for business and social purposes. Where they meet the ground they often perform more specialized aspects of these functions. On city streets where social and business activities are compressed the base not only provides access, but by its image conveys purpose, attracting, engaging even inviting pedestrians to enter. This direct proximity to people requires that the base of the building be distinct and respond in a hospitable way supportive of human activities along the street.

Guideline:

The building shall be articulated with a horizontal expression line establishing a base, a ground level zone distinct from the facade above.



BASE HEIGHT



Principle:

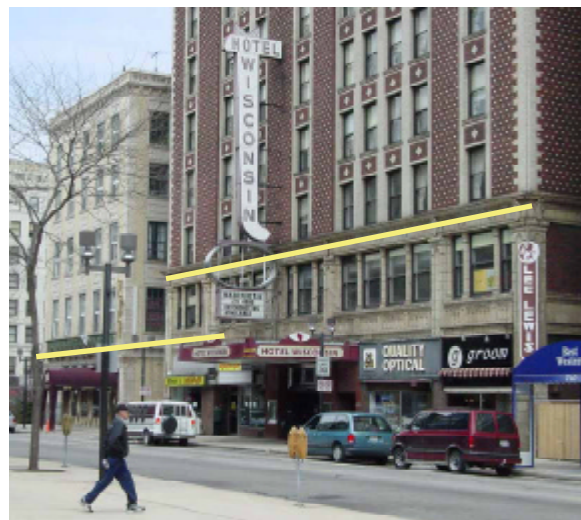
Expressing the building base provides an extraordinary opportunity to compliment the composition of adjacent architecture without mimicking it and to reinforce the street, the pedestrian space as a more unified place.

Guideline:

The base height from grade of the building's base as defined by a major expression line should relate to the height of the base of the adjacent facades and be proportioned to the overall building, but should be no higher than the window sill line of the third floor or less than 15 feet above grade.



Base heights near the same level



Adjacent base heights within 15 feet of each other and with the lower base height seen as an expression line in the taller



ENTRANCE LOCATION

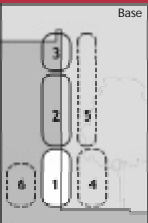
Principle:

Every building parcel is located along one or more streets. Buildings in this traditional city pattern have fronts and backs. The fronts face the street and allow for public access. The backs often occur along alleys which provide for service access. Entrances on corners give prominence to more than one street face.

Guideline:

Shopping Streets: Entrances to ground floor uses shall be along street facades. Buildings on corner lots should meet requirements of both streets giving priority to higher street classification and should, in addition, provide for corner entrance to either ground floor use or to building's lobby / vertical circulation core. Service and parking entrances are not permitted.

Mixed Use Streets: Same as shopping streets except where no alleys occur service and parking access to recessed service area is permitted.



ENTRANCE EXPRESSION

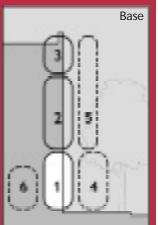


Principle:

Entries that are clearly identifiable, easily accessible, and visible from the street are inviting and provide interest at the street level.

Guideline:

Entrances shall be a variation from typical facade bay and be given prominence through: recess/projection, weather protection, materials, articulation, elaboration, etc.



ENTRANCE FREQUENCY



Principle:

Entrances convey access physically and psychologically. Access encourages street activity and interaction contributing to urban vitality and public safety.



Guideline:

Shopping Streets: Entrances shall typically occur at intervals of 40 feet or less on center (the center of two adjacent entrances shall be no closer than 40 feet) with following exceptions:

- a. when substituted by frontage of Transitional Spaces Type I or IV. See pages 28-29.
- b. entrance spacing up to 80 feet when single large tenant frontage.

Mixed Use Streets: Entrances shall typically occur at intervals of 40 feet or less on center with following exceptions:

- a. when substituted by frontage of Transitional Spaces Type I, II, III, or IV. See pages 28-29.
- b. entrance spacing of generally up to 80 feet when single large tenant frontage exists.

Service Streets: Entrances shall typically occur at intervals of 80 feet or less on center except when substituted by frontage of Transitional Spaces Type I, II, III, or IV on pages 28-29.



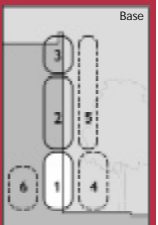
Shopping Street



Mixed Use Street



Service Street



ENTRANCE FREQUENCY - TRANSITIONS

Principle:

While entrances are a primary element of active streets and this feature has been wonderfully elaborated in countless ways, variations due to climate, culture, functional propriety, and social transitioning from public to private space often occur in relation to building type and use.

Guideline:

The following Transitional Space elements allow for up to twice the spacing between entrances (Transitional Space Types apply to different Street Types as indicated on page 27). The prescriptive numbers for each element only apply when the element is substituted for Entrance Frequency.



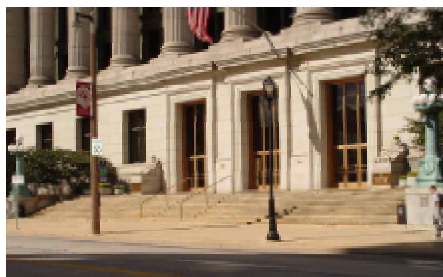
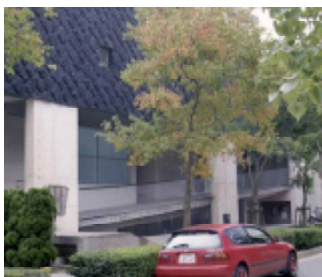
Transitional Spaces Type I - Arcades or Colonnades

Arcades / Colonnades shall be within the building's base, shall typically have a minimum of 80% openings, minimum 12-foot height and a tall proportion.



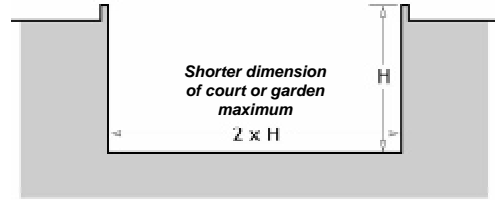
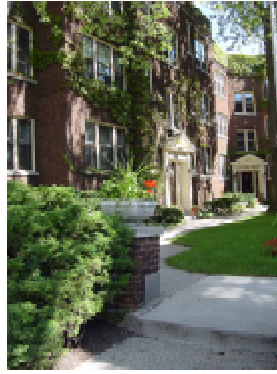
Transitional Spaces Type II - Stairs, Ramps or Monumental Steps

Stairs, Ramps and Monumental Steps required where topography, privacy or ceremony call for vertical transition shall meet the Surface Treatment guideline and the Detailing Enrichment guideline as well as building codes and ADA handicap accessibility requirements.



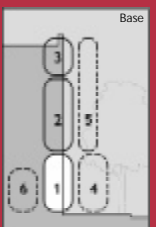
Transitional Spaces Type III - Courts or Gardens

Courts and Gardens shall be limited by Site Setback and Frontage requirements and shall not typically exceed twice the height of adjacent facades in smaller dimension. Associated facades are subject to Transparency guideline and all surfaces to the Surface Treatment guideline and the Detailing Enrichment guideline.



Transitional Spaces Type IV - Terraces

Terraces shall generally not exceed 10 feet in depth, shall not be less than 16 feet in length and shall not have a base of more than 30 inches above the adjacent sidewalk. Associated facades are subject to the Transparency guideline and all surfaces to the Surface Treatment guideline and the Detailing Enrichment guideline.



TRANSPARENCY

Principle:

Transparency at the street level enlivens the street environment, providing interest and activity along the sidewalk and at night providing a secondary, more intimate, source of lighting.

Guideline:

Required percentage of glazing must be clear glass that transmits at least 65% of visible daylight, at least 6 feet in height with sills not more than 2 feet-6 inches above the interior floor level on Shopping Streets (3 feet on other streets). Structural elements of the glazing system (6 inches or less in width) shall be counted toward requirements.

Glazing alternatives:

- 1 Other first floor windows outside of required area that otherwise meet standards: Counted at half rate.
- 2 Display cases located within the required area: Counted at half rate.
- 3 Windows that do not meet transparency standards: Counted at quarter rate.
- 4 Architectural details if within the required area: Counted at quarter rate.



6-Foot Band

Sill (2 feet-six inches or 3 feet for Mixed Use and Service Streets)





Shopping Streets

Required glazing percentage as permitted by Street Type:

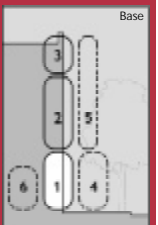
Shopping Streets: At least 75% of building frontage except when substituted by glazing alternative #2 (which may comprise no more than 50% of the required glazing).

Mixed Use Streets: At least 50% of building frontage except when substituted by any of the glazing alternatives on page 30.

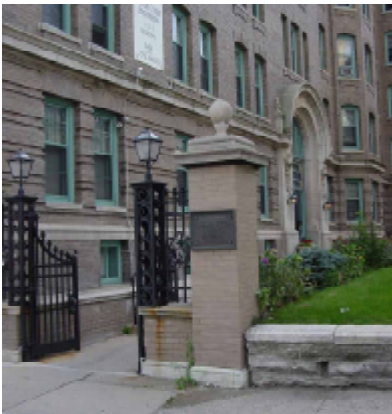
Service Streets: At least 25% of building frontage except when substituted by any of the glazing alternatives on page 30 or the Landscaping and Screening requirement for Mixed Use Streets for parking structures on page 37 (whether the building is a parking structure or not).



Mixed Use Street



DETAILING ENRICHMENTS



Principle:

Detailing and ornamentation provide intricacy, visual interest at an intermediate scale between the size of building elements, (windows, doors, columns, etc.) and the scale of construction components, (bricks, blocks, etc.), or the natural texture of materials, (wood grain, stone veining, etc.). It is this quality that is the least evident in buildings today.



Detailing and ornamentation in fencing and columns

Guideline:

Detailing shall exhibit a high degree of compatibility and coordination between elements that are consistent with the overall building design style.



SURFACE TREATMENT

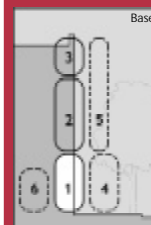
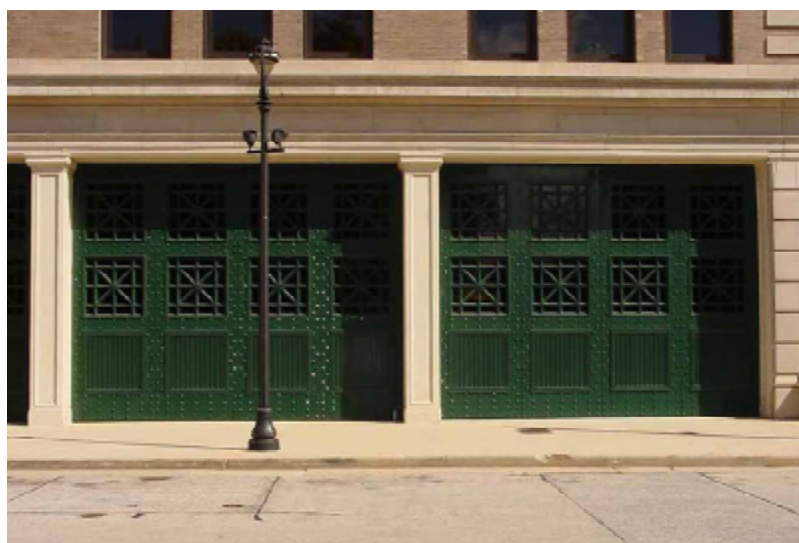


Principle:

Architectural elements arranged to enhance orientation, comfort, and visual interest invite pedestrian interaction. Blank facades limit pedestrian interaction with the building, effectively “deadening” the street environment where they occur. They provide opportunities for defacement with graffiti, decrease safety for pedestrians and encourage other undesirable activities.

Guideline:

All surfaces shall be enriched by materials with natural beauty, fine craftsmanship, and/or the changes in depth that create shadows. See also Surface Variation-Corners on page 47 for corner treatment.



BUILDING BASE FINISH MATERIALS



Principle:

Streets that establish a prominence, a cultural presence and social decorum require appropriate and respectful acknowledgement in the materials selected for facades along their edges.

Guideline:

Recommended and discouraged exterior finish materials on the building base are indicated by Street Type on the next page. For renovation of existing buildings, new materials on the building base should be compatible with the rest of the building.



**Recommended (R) and Discouraged (D) Zone One
Exterior Finish Materials**

Shopping

Mixed Use

Service

Masonry Unit

Brick (Modular, King, and Economy)	R	R	R
Brick (Norman and utility)	R	R	R
Concrete Masonry Units (CMU) (Fluted, Split Face, and Standard)	D	D	R
Glass Block	R	R	R
Glazed Brick	R	R	R
Glazed Concrete Masonry Units	D	R	R
Ground Faced CMU	D	R	R
Modular Pressure Formed Stone Masonry Units	D	R	R

Metal

Cast Iron and Cast Aluminum	R	R	R
Composite Metal Panel (Aluminum, Copper, Stainless Steel, and Zinc)	R	R	R
Metal Leaf (Copper and Gold)	R	R	R
Prefinished Sheet Metal (Aluminum and Steel)	R	R	R
Sheet Metal (Brass, Bronze, Copper, Stainless Steel, and Zinc)	R	R	R
Structural Steel Framing	R	R	R
Wrought Iron	R	R	R

Wood

Composite Wood Panel	R	R	R
Finished Wood	R	R	R

Concrete (non-unit)

Cast in Place Concrete (Walkable Surfaces Only)	D	R	R
Cast in Place Concrete (Finished)	R	R	R
Formed Fiberglass Reinforced Concrete	R	R	R
Patterned Precast Concrete	R	R	R
Exposed Aggregate Precast Concrete	D	D	D

Other Materials

Ceramic Tile	R	R	R
EFIS	D	D	D
Finished Foam Plastic	D	D	D
Glass (Plate, Float, and Cast)	R	R	R
Glass Framing (Aluminum, Bronze, Wood, Stainless Steel, and Steel)	D	R	R
Glass Framing (Aluminum Clad Wood, PVC, and Vinyl Clad Wood)	R	R	R
Natural Stone	R	R	R
Particle Board	D	D	D
Poly Carbonate Sheet Plastic	D	R	R
Shingles	D	D	D
Stucco	D	D	D
Terra Cotta	R	R	R
Terrazzo	R	R	R



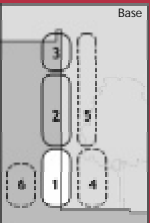
LANDSCAPING AND SCREENING



Appropriate parking structure screening

Principle:

Most parking and service areas are intrusive and detract from the overall image of a building and street. Though necessary functions, they do little to contribute to the aesthetics and experience of passing by the building.



Guideline:

Landscaping shall be used to screen the perimeter of surface parking, structured parking (where other ground floor activities are not present), and service areas where visible from the street.

Shopping Streets: New surface lot parking is not permitted in Zone One adjacent to the street. When improvements on existing surface lots exceed striping, patching, or sealing landscaping shall be installed and consist of plant material and/or decorative garden walls of at least 4 feet in height.

Structured parking is not permitted in Zone One adjacent to the street.

Mixed Use Streets: Surface lots are not permitted adjacent to the street. When improvements on existing surface lots exceed striping, patching, or sealing landscaping shall be installed and consist of plant material and/or decorative garden walls of at least 4 feet in height.

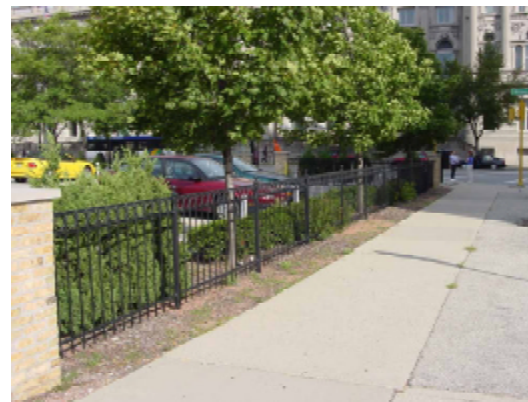
Parking structure: Provide <either> continuous base shrubs, curbing to prevent soil and ground cover from spilling onto the sidewalk, and trees planted at a minimum of 15 feet on center with a minimum height of 7 feet at time of planting.<or> follow Transparency guideline on page 30.

Service Streets: Surface Lot: Provide continuous base shrubs along a decorative masonry and/or metal gardenwall (at least 3 feet in height), curbing to prevent soil and ground cover from spilling onto the sidewalk, and trees planted at a minimum of 25 feet on center. The crown of the trees and gardenwall shall create a continuous street edge. Landscaping at eye level shall remain mostly transparent.

Parking Structure: See Guideline for Mixed Use Streets above.

Service Area: Landscaping shall be a minimum height of 7 feet and completely obscure service areas (loading docks, trash receptacles, mechanical equipment, and similar functions) from view from the public right-of-way. Landscaping can consist of plant material and/or decorative garden walls.

Appropriate surface lot screening



BUILDING BASE SIGNAGE

Principle:

Signs are an integral part of the commercial character of Westtown. An oversimplification of standards can stifle creativity and excitement of the visual character of the area, while the lack of any control can lead to visual chaos. Signage should be designed to 1) facilitate rapid orientation, giving the viewer quick access to place and directional information, 2) add interest to the street level environment, 3) reduce visual clutter, 4) unify the project as a whole, and 5) enhance the appearance and safety of the Westtown Area.

Guideline:

The following sign types are recommended:

Wall Signs

Individual letters and symbols may be internally illuminated, but the overall background (if any) shall not be. Sign must be attached to a flat, opaque wall surface.

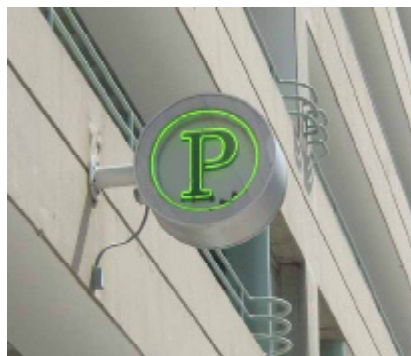
Identification of new tenant/owners in buildings with existing plastic face signs larger than 25 square feet should be replaced with signs that are consistent with these guidelines.

Projecting Signs

Individual letters or symbols may be internally illuminated. Individual letters or symbols shall be attached to a panel not more than 12 inches thick.

Awning Signs

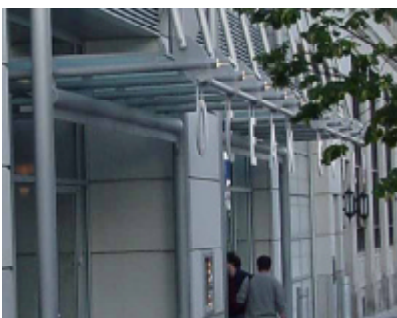
Individual letters or symbols shall be applied to or integral with an opaque, non-translucent material covering an awning structure. Signage shall be no more than 12 inches in height and may be illuminated only from above by a general building lighting source.



See also Signage in Zone Two (pages 50-51), Zone Three (page 60), and guidelines for signs that extend beyond the property line in Zone Four (page 62) and Zone Five (page 65).

Canopy and Hood Signs

Individual letters or symbols may be internally illuminated. The sign may also include a panel integral to the canopy or hood structure to which the letters or symbols are attached. The panel shall be not more than 12 inches thick.



Window Signs

Permanent window signs must consist of only individual letters and symbols painted or placed on the glazed portion of the window.

Temporary window signs consist of advertising on a flexible material placed inside the glazed portion of the window.

Max display area permanent:
25% of required base glazed area

Max display area temporary:
25% of required base glazed area



Monumental Signs

Individual letters or symbols may be internally illuminated and (1) the base shall be as least as wide as the display area and (2) the design and materials shall be consistent with the building.



HOODS, CANOPIES, AND AWNINGS



Hood



Canopy



Awning

Principle:

Overhead weather protection along the street helps to shade windows and pedestrians, define the pedestrian realm, reduce the scale of tall buildings, and add visual interest.

Hood / Canopy - A rigid, roof-like structure erected over an entrance to a building or window opening (includes marquees).

Awning - A roof-like structure, erected over window openings, sloping and draining away from the building.

Guideline:

Hoods and Canopies: Hoods and canopies over doors and windows shall reflect the openings and meet the requirements of the Detailing Enrichments guideline on page 32.

Awnings: Awnings should reflect door and window openings and remain within the buildings structural bays. Straight planar surfaces are preferred to curved surfaces. Backlighting and reflective, vinyl plastic is prohibited.



BUILDING BASE LIGHTING



Principle:

Well-placed lighting at appropriate levels on the building facade, in display windows, on signage, on the underside of overhead weather protection, on and around street furniture, and in landscaped areas promotes a sense of security, visual interest and intimacy during nighttime hours.

Guideline:

Lighting in this zone shall be configured to avoid glare by concealing or baffling the light source and reflecting the light off surfaces, (or grazing surfaces) to emphasize form and texture.

The lighting design strategy shall avoid dull uniform lighting configurations by incorporating multiple light sources that create visually interesting pools of light and point lighting that accent architectural features.

Lighting of storefront windows throughout the night is encouraged.

See also Zone Two (page 52) and Zone Three (page 57).

